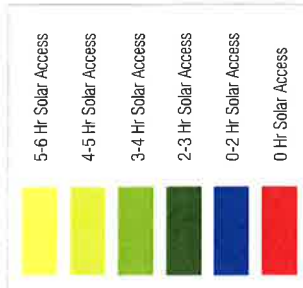


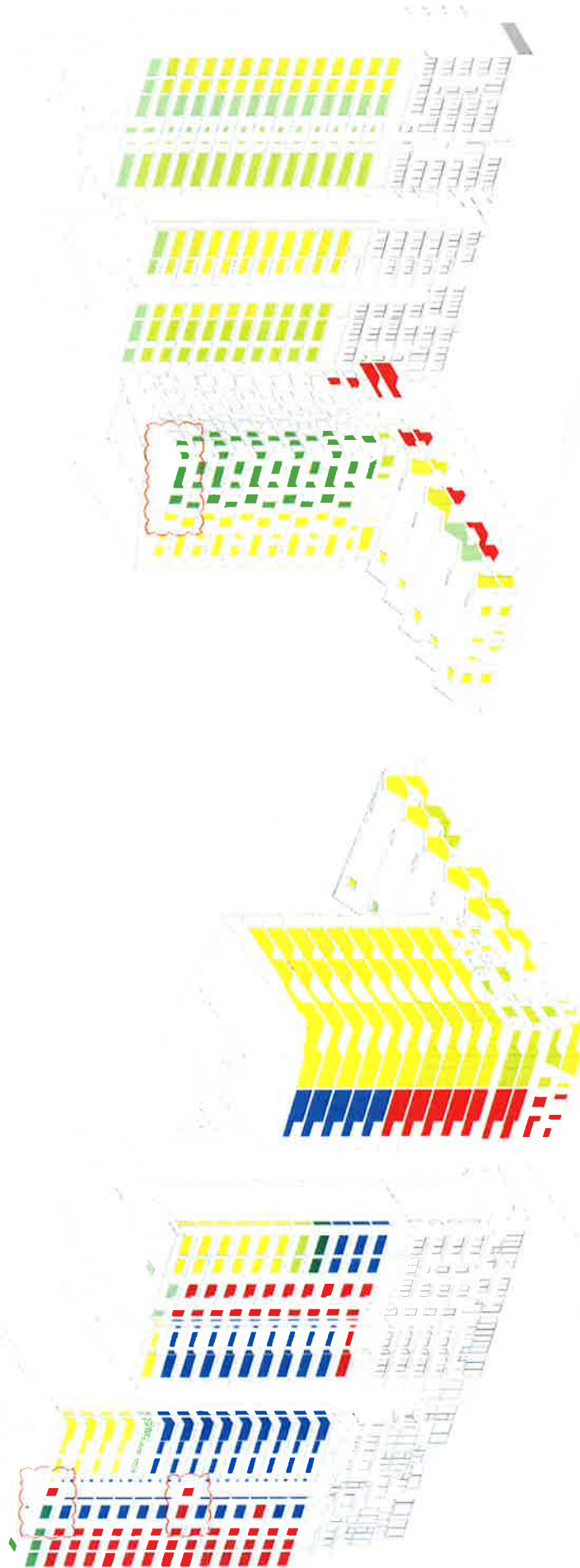
TOTAL NO. OF UNITS: 232

NO. OF UNIT RECEIVING MIN. 2HR DIRECT SUNLIGHT: **156**
PERCENTAGE: **67%**

NO. OF UNITS RECEIVING NO DIRECT SUNLIGHT: **37**
PERCENTAGE: **17%**

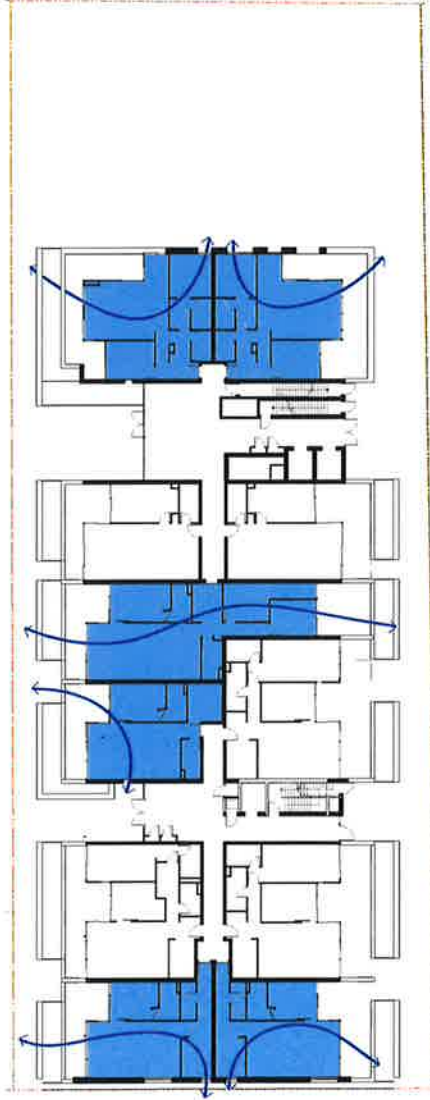


LEGEND

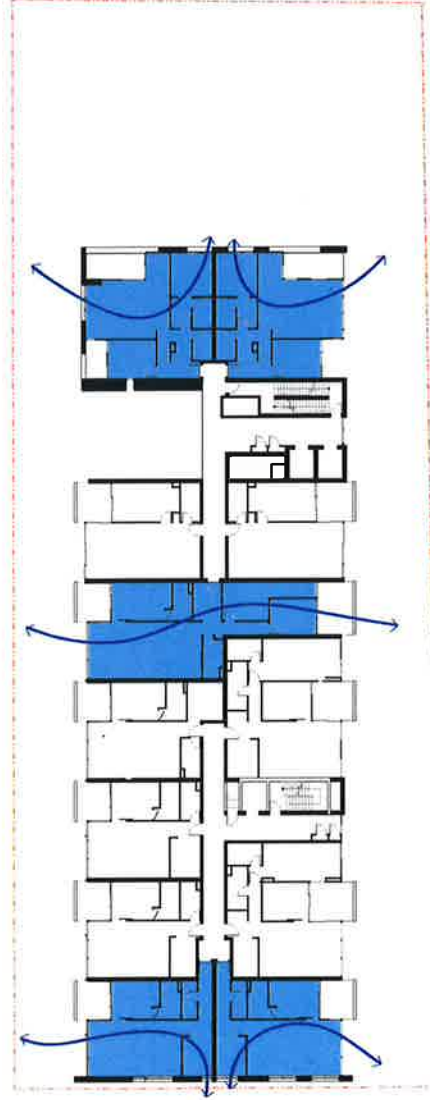


2 Solar Hour Diagram North East View
NOT TO SCALE

2 Solar Hour Diagram South East View
NOT TO SCALE



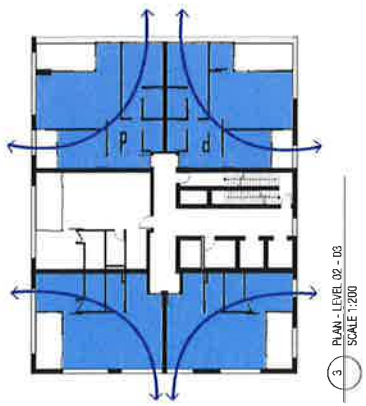
1 PLAN - LEVEL 00
SCALE 1:200



2 PLAN - LEVEL 01
SCALE 1:200

**CROSS VENTILATED
APARTMENTS**

**TOTAL APT - 83
COMPLIANT APT - 59
71% OF APARTMENTS ACHIEVE CROSS FLOW.
REQUIRED SEPP65 MIN.60%**



3 PLAN - LEVEL 02 - 03
SCALE 1:200



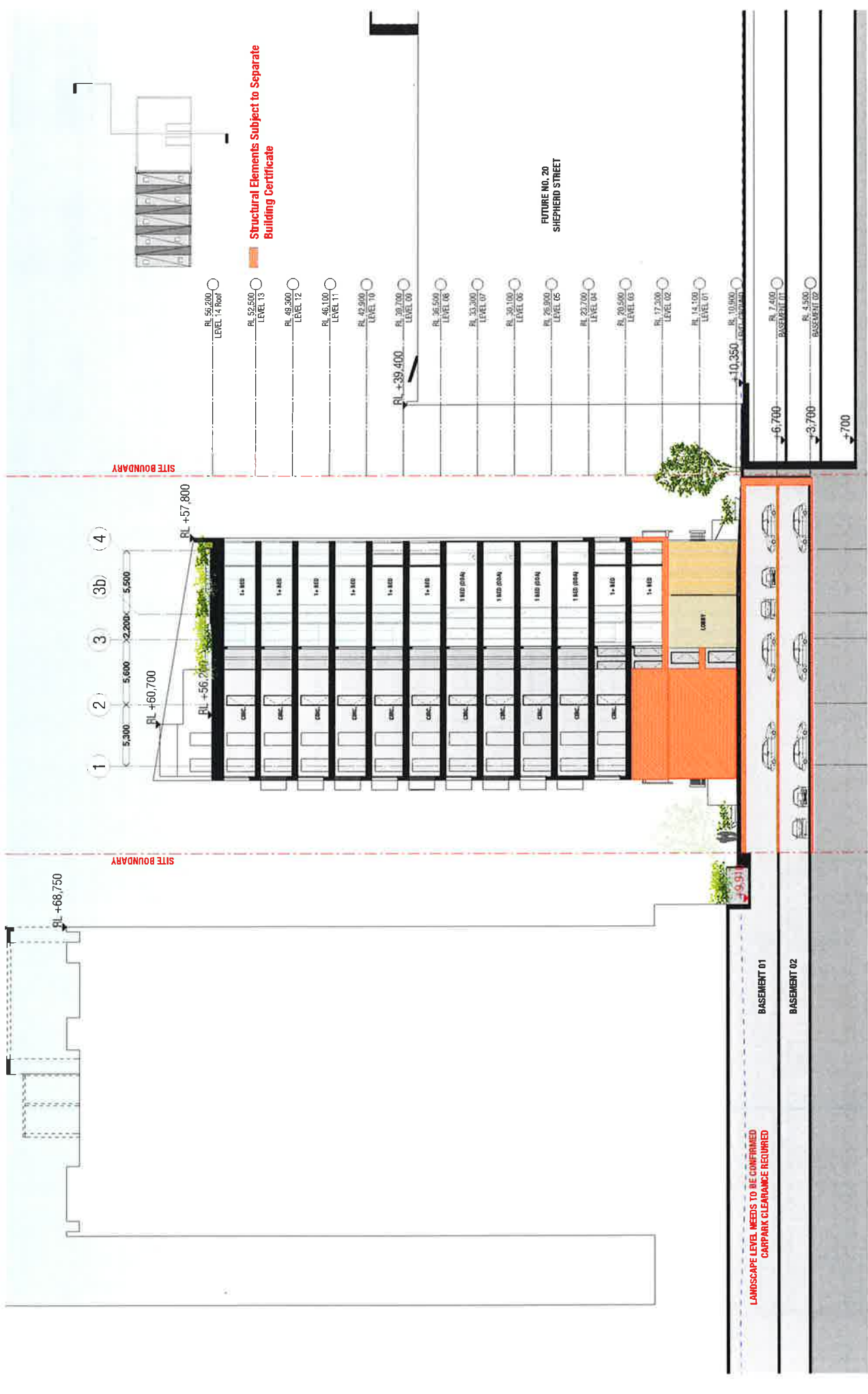
4 PLAN - LEVEL 04 - 13
SCALE 1:200

WOODS BAGOT
ARCHITECTS
120597/120809 A22620 D3
DEVELOPMENT APPLICATION

26/28 SHEPHERD ST
CORONATION PROPERTY CO
13/12/2017
1:150

COMBINED DA/STAGE 2 - 26 SHEP
CROSS VENTILATION ANALYSIS

WOODS BAGOT
ARCHITECTS
120597/120809 A22620 D3
DEVELOPMENT APPLICATION



Structural Elements Subject to Separate Building Certificate

FUTURE NO. 20 SHEPHERD STREET

LANDSCAPE LEVEL NEEDS TO BE CONFIRMED CARPARK CLEARANCE REQUIRED

BASEMENT 01

BASEMENT 02

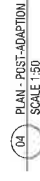
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Date: 28/07/2018
Drawn: [Name]
Checked: [Name]
Approved: [Name]

28/28 SHEPHERD ST
R. 28/28 SHEPHERD ST
R. 28/28 SHEPHERD ST

CORONATION PROPERTY CO
28/28 SHEPHERD ST
R. 28/28 SHEPHERD ST

COMBINED DA/STAGE 2 - 28 SHEP
SECTION CC
28/07/2018
1:150
28/07/2018

WOODS BAGOT
AUSTRALIA
SOUTH EAST
SOUTH AMERICA
120597/120809 A23203 D3
DEVELOPMENT APPLICATION

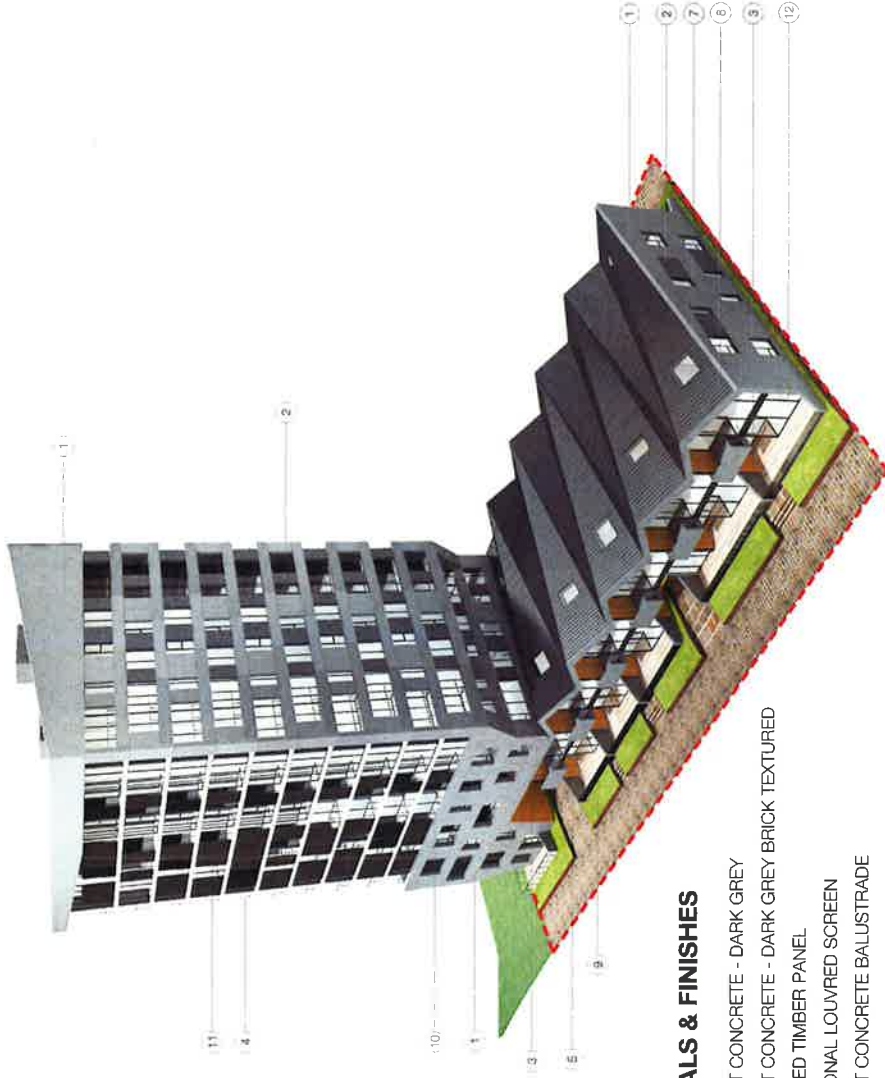




1 PLAN - LEVEL 00 - 01
SCALE 1/250

2. PLAN - PLAN - PRE ADAPTABLE, 3 BED
SCALE 1:50

3. PLAN - PLAN - POST ADAPTABLE 3 BED



MATERIALS & FINISHES

- 1 PRECAST CONCRETE - DARK GREY
- 2 PRECAST CONCRETE - DARK GREY BRICK TEXTURED
- 3 LAMINATED TIMBER PANEL
- 4 DIRECTIONAL LOUVRED SCREEN
- 5 PRECAST CONCRETE BALUSTRADE
- 6 METAL FENCING
- 7 SKYLIGHT
- 8 PROFILED METAL ROOFING - DARK GREY
- 9 RAISED PLANTER
- 10 SELECTED TILE FINISH
- 11 BLACK PAINT FINISH
- 12 BLACK WINDOW FRAMING



PRECAST CONCRETE - DARK GREY



PRECAST CONCRETE - BRICK TEXTURED



LAMINATED TIMBER PANEL



DIRECTIONAL LOUVRED SCREEN



METAL FENCING



CORTEN



PROFILED METAL ROOFING - DARK GREY



ALUMINIUM WINDOW FRAMING - BLACK



1 PERSPECTIVE - VIEW FROM RIVER
NOT TO SCALE

WOODS BAGOT
ARCHITECTS
120597/120609 A29100 03
DEVELOPMENT APPLICATION

26/28 SHEPHERD ST

CORONATION PROPERTY CO

COMBINED DA/STAGE 2 - 26 SHEP
PERSPECTIVE 1

13/12/2017
1:150
13/12/2017

WOODS BAGOT
ARCHITECTS
120597/120609 A29100 03
DEVELOPMENT APPLICATION



1 PERSPECTIVE - FRONT
NOT TO SCALE

WOODS BAGOT
ARCHITECTS
120537/120809 A23101 D3
DEVELOPMENT APPLICATION

26/28 SHEPHERD ST

CORONATION PROPERTY CO

COMBINED DA/STAGE 2 - 26 SHEP
PERSPECTIVE 2

13/12/2017
NTS
120537/120809 A23101 D3
DEVELOPMENT APPLICATION

Coronation Property Co Pty Ltd
100% Commonwealth Bank

13/12/17

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank

100% Commonwealth Bank



1 PERSPECTIVE - LANE WAY EAST
NOT TO SCALE

WOODS BAGO
ARCHITECTS
120597/120809 A25102 D2
DEVELOPMENT APPLICATION

28/28 SHEPHERD ST

28/28 SHEPHERD ST
MELBOURNE VIC 3000

CORONATION PROPERTY CO

Coronation Property Co Pty Ltd
RPO Corporation ABN 62 611 111 111

COMBINED DAVSTAGE 2 - 28 SHEP
PERSPECTIVE 3

10-02-17

NIS

WOODS BAGO
ARCHITECTS
120597/120809 A25102 D2
DEVELOPMENT APPLICATION

10-02-17

NIS



① PERSPECTIVE - AERIAL
NOT TO SCALE

WOODS BAGOT
ARCHITECTS
120597/120809 A29103 03
DEVELOPMENT APPLICATION

26/28 SHEPHERD ST
MILLERS SUM

COMBINED DASTAGE 2 - 26 SHEP
PERSPECTIVE 4

AUSTRALIA
NEW SOUTH WALES
SYDNEY EAST
MILLERS SUM

17/04/17

CORONATION PROPERTY CO

13/12/2017

120597/120809 A29103 03

Coronation Property Co Pty Ltd
345 Commercial Road

NTS

DEVELOPMENT APPLICATION



1 PERSPECTIVE - RIVERFRONT
NOT TO SCALE

Project: 26/28 SHEPHERD ST
Location: 26/28 SHEPHERD ST
Client: CORONATION PROPERTY CO
Architect: WOODS BAGOT
Date: 13/12/2017
Scale: 1:100
Status: DEVELOPMENT APPLICATION

26/28 SHEPHERD ST
CORONATION PROPERTY CO
13/12/2017
NTS
Development Application

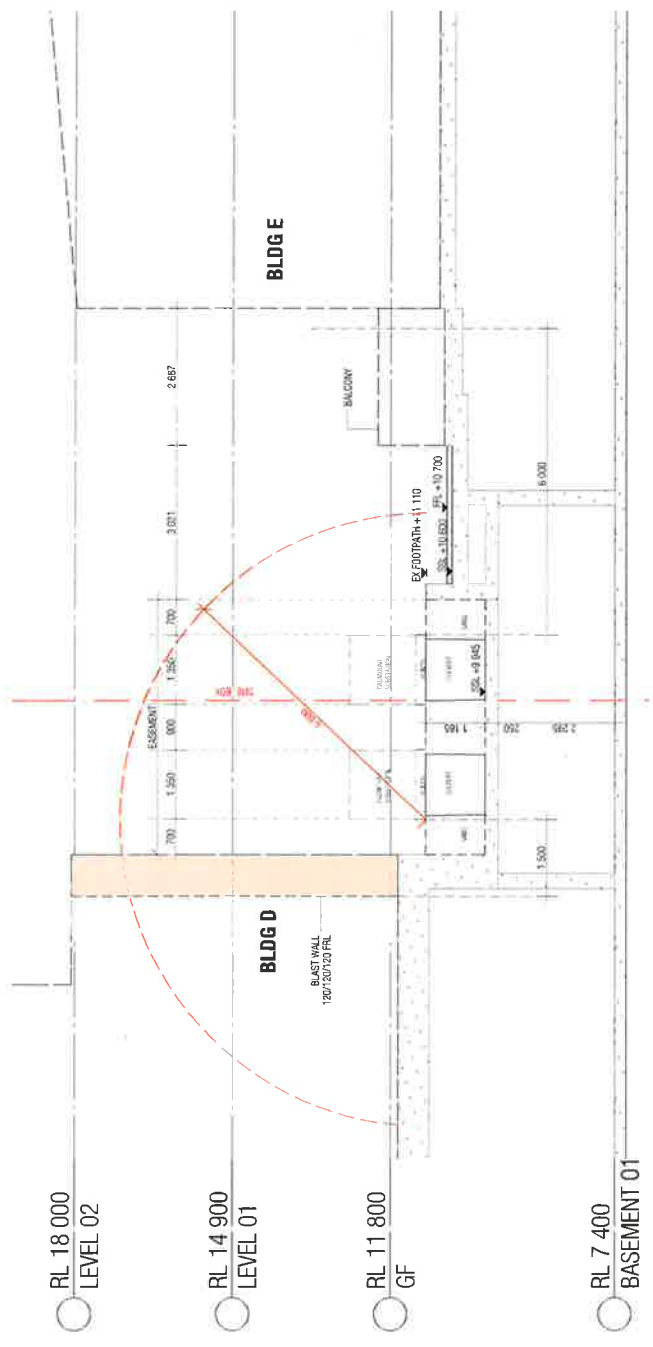
WOODS BAGOT
AUSTRALIA
NEW ZEALAND
SOUTH AFRICA
120597/120609 A29104 D3
DEVELOPMENT APPLICATION

Project: 120597 - SITE & SETOUT SUBSTATION - ELEBSEC
Drawing: 120597-01 - SITE & SETOUT SUBSTATION - ELEBSEC
Scale: 1:500
Date: 10/11/17
Author: [Redacted]
Check: [Redacted]
Approved: [Redacted]

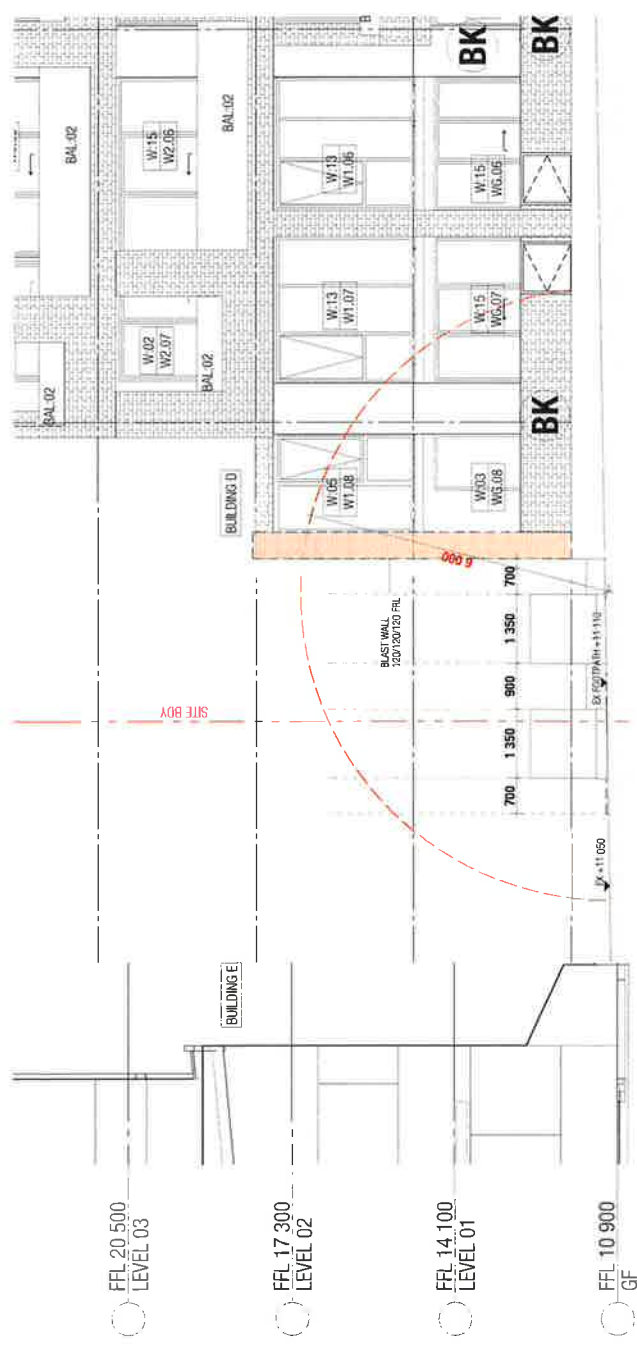


GENERAL NOTES:
1) ALL WORKS TO BE CARRIED OUT TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND REGULATIONS.
2) ALL WORKS TO BE CARRIED OUT TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND REGULATIONS.
3) ALL WORKS TO BE CARRIED OUT TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND REGULATIONS.

DISCLAIMER
1) FINAL CO-ORDINATION OF STRUCTURE AND SERVICES TO BE CONFIRMED.
2) ALL WORKS TO BE CARRIED OUT TO BE IN ACCORDANCE WITH AUSTRALIAN STANDARDS AND REGULATIONS.



1 SECTION-AA
SCALE 1:50



2 ELEVATION-BB
SCALE 1:50

CORONATION PROPERTY CO
26/28 SHEPHERD ST
SYDNEY NSW 1585
AUSTRALIA
120597
A1205 A
FOR INFORMATION

26 - 28 SHEPHERD STREET, LIVERPOOL
LANDSCAPE DEVELOPMENT APPLICATIONS

26 Shepherd Street, Liverpool

OURIEDDESIGN



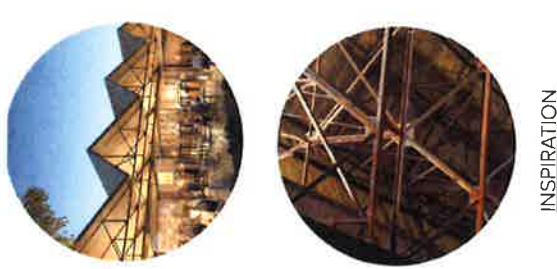
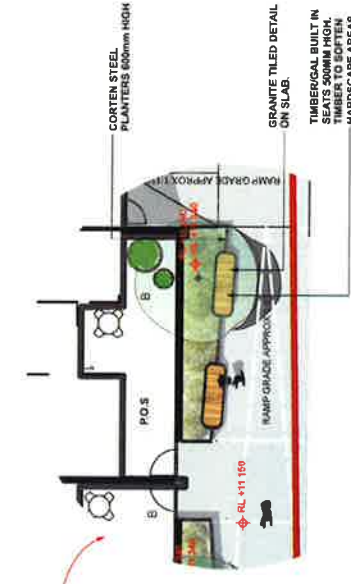
28 Shepherd Street, Liverpool

ASPECT Studios™



KEY

- SHEPHERD STREET UPGRADE:**
New concrete footpaths 2m wide along with street tree planting of Lophostemon confertus to council tree planting specifications
- FRONT COMMON AREA:**
Dense planting of grey/green foliage plants to soften facade of building and give front units visual privacy and a noise buffer.
- PRIVATE RESIDENT COURTYARDS:**
The front courtyard of each residence is to be a mixture of native grasses, groundcovers and pleached hedges all using a uniform 'silver' coloured foliage. Each planter-bed is to have feature Elaeocarpus eumundii trees.
- FEATURE PAVING:**
The paving of all common areas are to be synonymous with the adjoining heritage properties to give the appearance of cohesive large development.
- PERMEABLE PAVING FEATURE:**
The ground plane of the riverside of the development and common space is to have permeable paving that gradually fades into a full native low garden to the extent of the boundary. Allowing the public access to the sun lounges.
- RIPARIAN ZONE ESTABLISHMENT**
Re-establish bank with mixed suitable riparian planting. Possible future footpath upgrade along foreshore

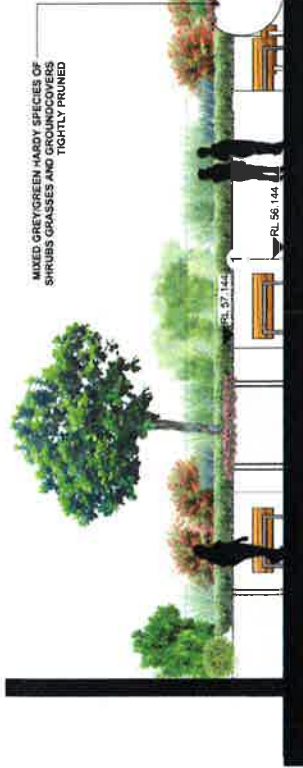


INSPIRATION

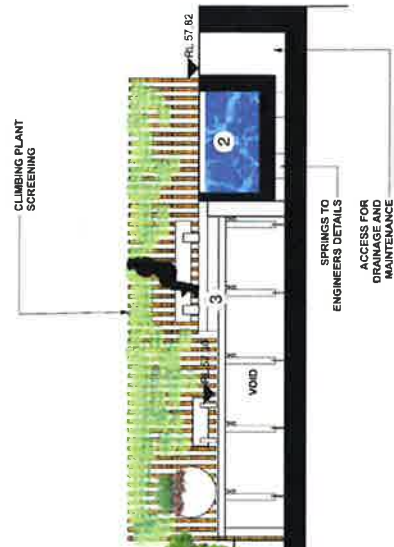
INTERPRETATION



CONSULTANT		CLIENT		DRAWING TITLE	
DUPIRE DESIGN		CORONATION PROPERTY CO.		LANDSCAPE GROUND FLOOR	
Sydney Suite 110, 117 Old Pittwater Road, NSW 2100 T +61 2 9313 3200 Los Angeles 8033 Sunset Boulevard #407 CA 90046 USA T +1 323 854 2206 www.jamiedesign.com		PROJECT PROPOSED DEVELOPMENT 26 SHEPHERD ST, LIVERPOOL		SCALE 1:1 1:200@A1	CHECKED BW
DATE 20.12.16		DRAWING L3 B		DATE 20.12.16	REVISION :No
BY DW		DATE 20.12.16		DRAWING L3 B	
BY DW		DATE 20.12.16		DRAWING L3 B	



SECTION A - SCALE 1:50



KEY

1 INFORMAL SEATING AREA

With moveable furniture to allow the space to be programmable. Planting around to be drought tolerant and structural to create visual privacy and mediate noise levels. The layout of this space has been designed to cater for as many smaller groups as possible.

2 COMMON POOL

Common pool with shallow swim out area for kids and a deeper lap pool for more confident swimmers. High glass pool safety fence to encompass whole area and allow for all views of river to be maintained.

3 COMMON POOL AREA LOUNGE

Common informal seating and lounge area provided with moveable deck furniture and stone umbrellas.

4 PRIVACY PLANTING

Watercourse hedge is to be planted at the southern side of the pool area to maintain visual privacy from adjoining developments and create a noise barrier.

5 DISABLED LIFT ACCESS

Common Name	Botanical Name	Scheduled Size	Mature Height	Mature Spread
Trees				
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Shrubs				
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Ground Covers				
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Grasses				
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Other				
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m
Asplenium nidus	Asplenium nidus	45L	3-10m	8-10m

PLANT PALETTE

ROOFTOP TERRACE PLANTING DESIGN INTENT: To create a variety of private and public spaces with the use of succulents, drought tolerant and broad leaved native species.

ROOFTOP TERRACE PLANTING DESIGN INTENT: To create a variety of private and public spaces with the use of succulents, drought tolerant and broad leaved native species.



IMPORTANT NOTES
 1. All drawings shall be read in conjunction with all architectural specifications and details.
 2. All plantings shall be installed in accordance with the specifications and details.
 3. All plantings shall be installed in accordance with the specifications and details.
 4. All plantings shall be installed in accordance with the specifications and details.
 5. All plantings shall be installed in accordance with the specifications and details.

REV	DATE	LOCATION
A	2015/01	ISSUE FOR CONSTRUCTION
B	2015/01	ISSUE FOR CONSTRUCTION

DURIE DESIGN
 Sydney Suite 110, 117 Old Pittwater Road, NSW 2100
 T +61 2 9313 3200
 L Los Angeles 5503 Sunset Boulevard #427 CA 90046 USA
 T +1 323 634 2200 www.duriedesign.com



CLIENT
CORONATION PROPERTY CO.
PROJECT
PROPOSED DEVELOPMENT
 26 SHEPHERD ST, LIVERPOOL

CONTRACT TITLE
ROOFTOP PLAN
SCALE
 1:100@A1
DATE
 20/12/16
DRAWN
 BW
CHECKED
 BW
REVISION
 :No

JOB
 2016-1
DRAWING
 L4 B
REVISION
 :No



SECTION B - 1:100

KEY

- 1 Screen planting to private courtyards. Allow for step down in slab for a minimum depth of 1000mm to allow for medium sized tree plantings. Suggested to use some riparian varieties to link areas along with nardy grey/blue dominant species
- 2 Timber bench built in to corten garden beds. Similar smaller benches placed 500mm off front of wall with random spacing. Benches made from timber and galvanised steel
- 3 Angled corten steel planters
- 4 Small to medium sized trees more formally planted along laneway. Suggested species with upright nature and underpruned to allow for understory growth
- 5 PERMEABLE PAVING FEATURE:
The ground plane of the riverside of the development and common space is to have permeable paving that gradually fades into a full native low garden to the extent of the boundary. Allowing the public access to waterfront area in the future
- 6 Riparian mass planted deep soil area maintaining existing grades down to the waterfront



DISCLAIMER

THIS DOCUMENT IS THE PROPERTY OF JAMIE DUFF DESIGN. IT IS TO BE USED FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF JAMIE DUFF DESIGN. ALL RIGHTS RESERVED.

DATE: 20/12/16
SCALE: 1:100@A1
JOB: 2016-1

CHECKED: BW
DRAWN: BW
REVISION: rNo

CONSULTANT

DURIEDDESIGN

Sydney Suite 110, 117 Old Pittwater Road, NSW 2100
T +61 2 9313 3200
Los Angeles 8033 Sunset Boulevard #427 CA 90045 USA
T +1 323 654 2206 www.jamieduriedesign.com

CLIENT

CORONATION PROPERTY CO.

PROJECT

PROPOSED DEVELOPMENT

26 SHEPHERD ST, LIVERPOOL

DRAWING TITLE

SECTIONS

Check all dimensions and notes carefully for compliance with the provisions of the Building Act 2015 and the Building Regulation 2015. The client is responsible for ensuring that the design complies with the relevant building codes and standards. The architect is not responsible for the accuracy of the information provided by the client or for the consequences of any errors or omissions in the design.



ASPECT STUDIOS
mark up
29/11/2017

CONSULTANTS
ENGINEER
Davidson & Davidson
Level 2, 80, Campbell St
Sydney NSW 2000
T: 02 9250 4000
F: 02 9250 4001

BUILDER
Sunny Hill NSW 2010
T: 02 9250 4000
F: 02 9250 4001

NOT FOR CONSTRUCTION
ASPECT Studios™

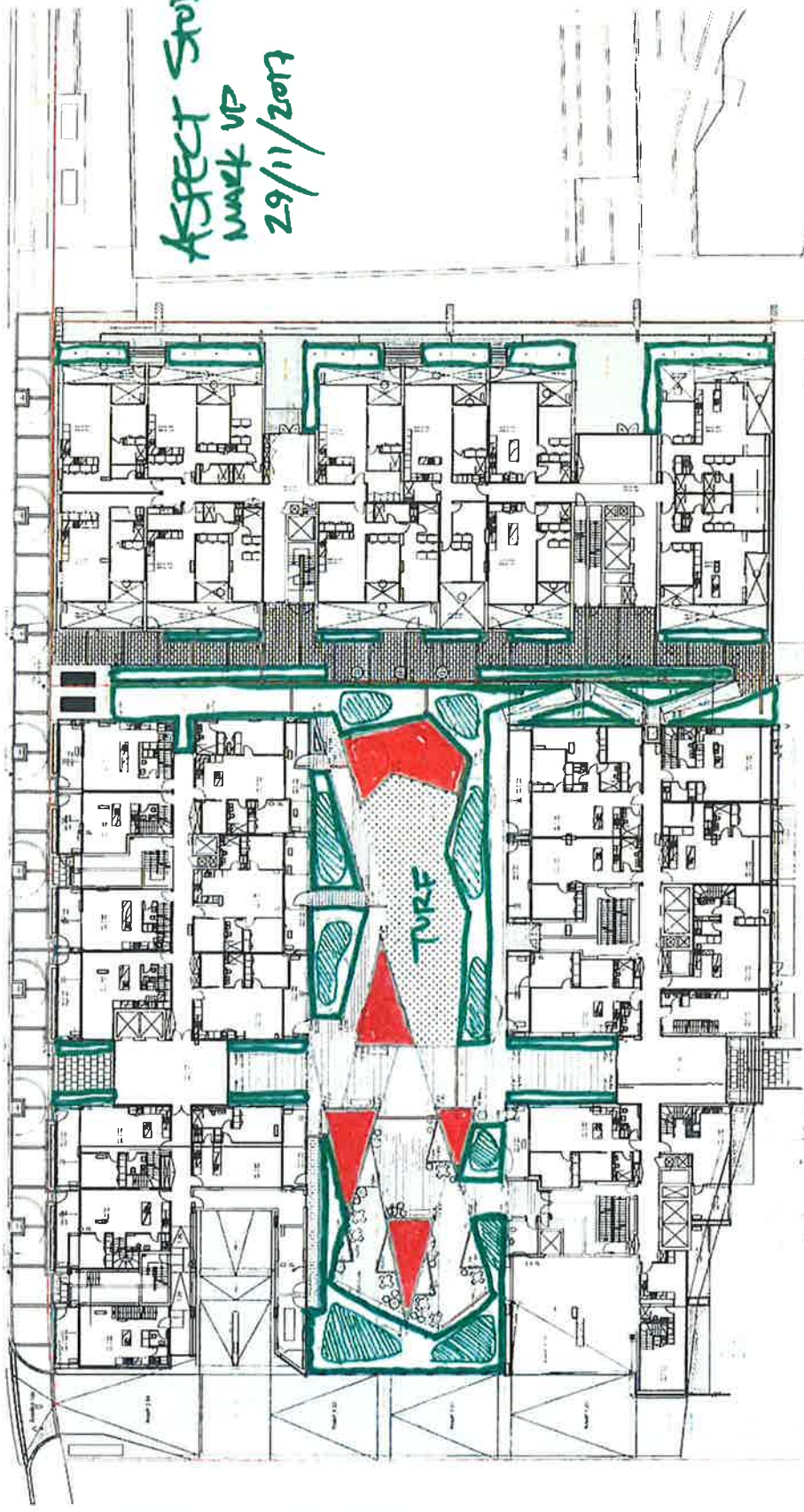
Coronation Property Co.
Level 2, 80, Campbell St
Sydney NSW 2000

25-28 Sheppard St
Liverpool NSW

SITE PLAN
General Arrangement

LA-00-104

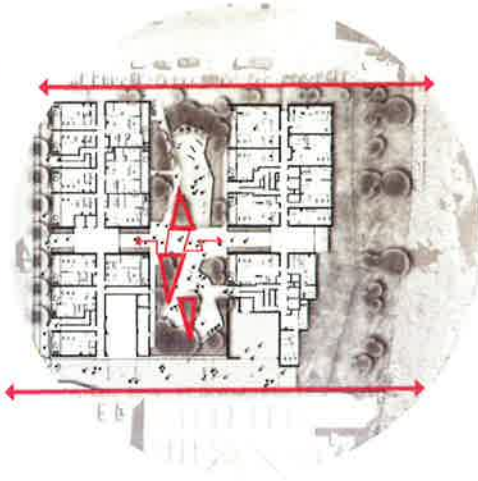
SP. INT. 1. STAGE



LEGEND

- MIN 1.2M SOIL DEPTH
- MIN 1.0M SOIL DEPTH
- EXTENT OF CONTIGUOUS PLANTER
- MINIMUM HEIGHT 450MM - GROUND UP TO 1.0-1.2M HEIGHTS VARY THROUGHOUT

1. Interpreting the site's heritage



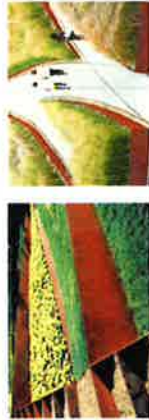
Steel beams to be reused as sculptural walls to boundaries



Steel trusses are reinterpreted as pavement inlay



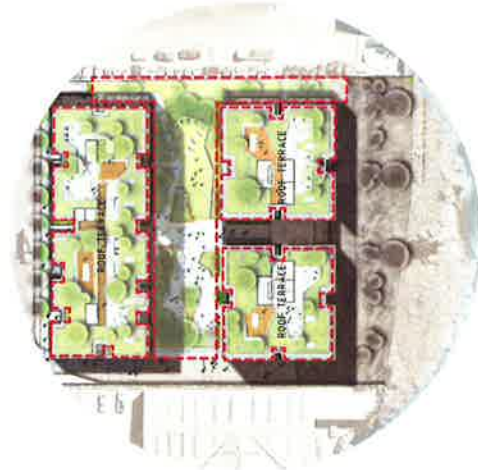
Angular planter walls in the communal and public areas take inspiration from triangular truss forms



Use of brick, steel, timber and concrete in the landscape design relates to the existing industrial character



2. Creating generous communal open spaces



Generous ground level communal courtyard with open turf area, and seating areas within a garden setting



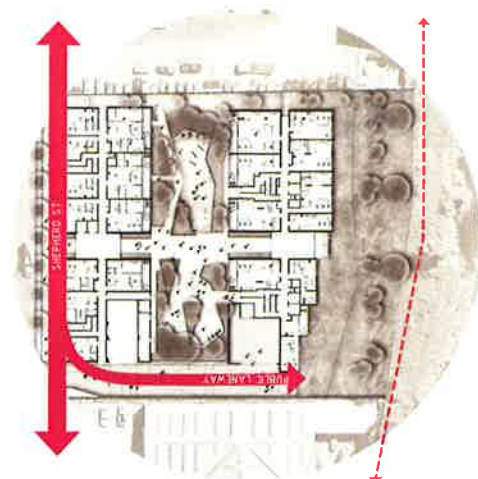
Direct access to residences through the garden



All of the rooftops are utilised to maximise communal open space offer, and provide a range of opportunities for gardening/ gathering / recreation/ day and evening use for residents



3. Redefining clear public through site links



Public pedestrian and cycle access to the waterfront via shared lane



Upgraded streetscapes to maximise pedestrian comfort and safety





Key

SHEPHERD ST UPGRADE

1. New insitu concrete pedestrian footpath, 2m wide
2. New insitu tree planting, *Copaxetron confertus*, in mass planting within 1.5m wide turf verge

NEW SHARED LANEWAY

3. Granite cobbled laneway for vehicular access to basement and loading and shared pedestrian access to courtyard and riverfront from Shepherd St
4. Recycled steel trusses to form decorative fence to boundary

SIDE ACCESSWAY

5. Substation accessible from Shepherd St
6. Mass planting with screening plants to provide privacy to neighbouring property
7. Recycled steel trusses to form decorative fence to boundary

CENTRAL COURTYARD

8. Insitu concrete pathway with interpretative steel mesh
9. Raised planters with angled corten steel edges. Decorative tree and understory planting Refer Planting Strategy (LA_8)
10. Mass planted gardens with screen planting to private terraces. A 600mm typical setback in the slab in addition to the 1.5m typical setback

11. 1000mm high raised garden bed with brick and corten steel edge. Mass planting of native grasses and flowering perennials, with small decorative tree planting Refer Planting Strategy (LA_8)
12. Open turf area with seating edge

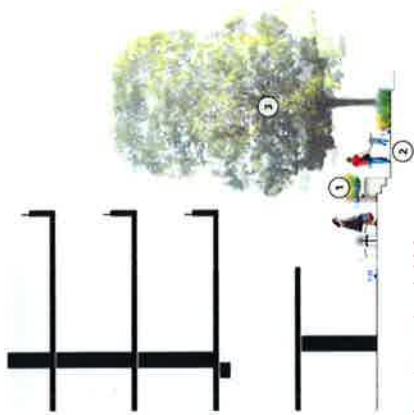
PRIVATE GARDENS

13. 1000mm high raised garden bed with brick and corten steel edge. Mass planting of native grasses and flowering perennials, with small decorative tree planting Refer Planting Strategy (LA_8)

RIVERFRONT

14. Potential for future stair access to river front from lobby and ground floor terraces, subject to council development
15. Riparian zone, rehabilitation of local flora along riverbank





Section AA - 1:100
Residential to Shepherd St Interface

Key

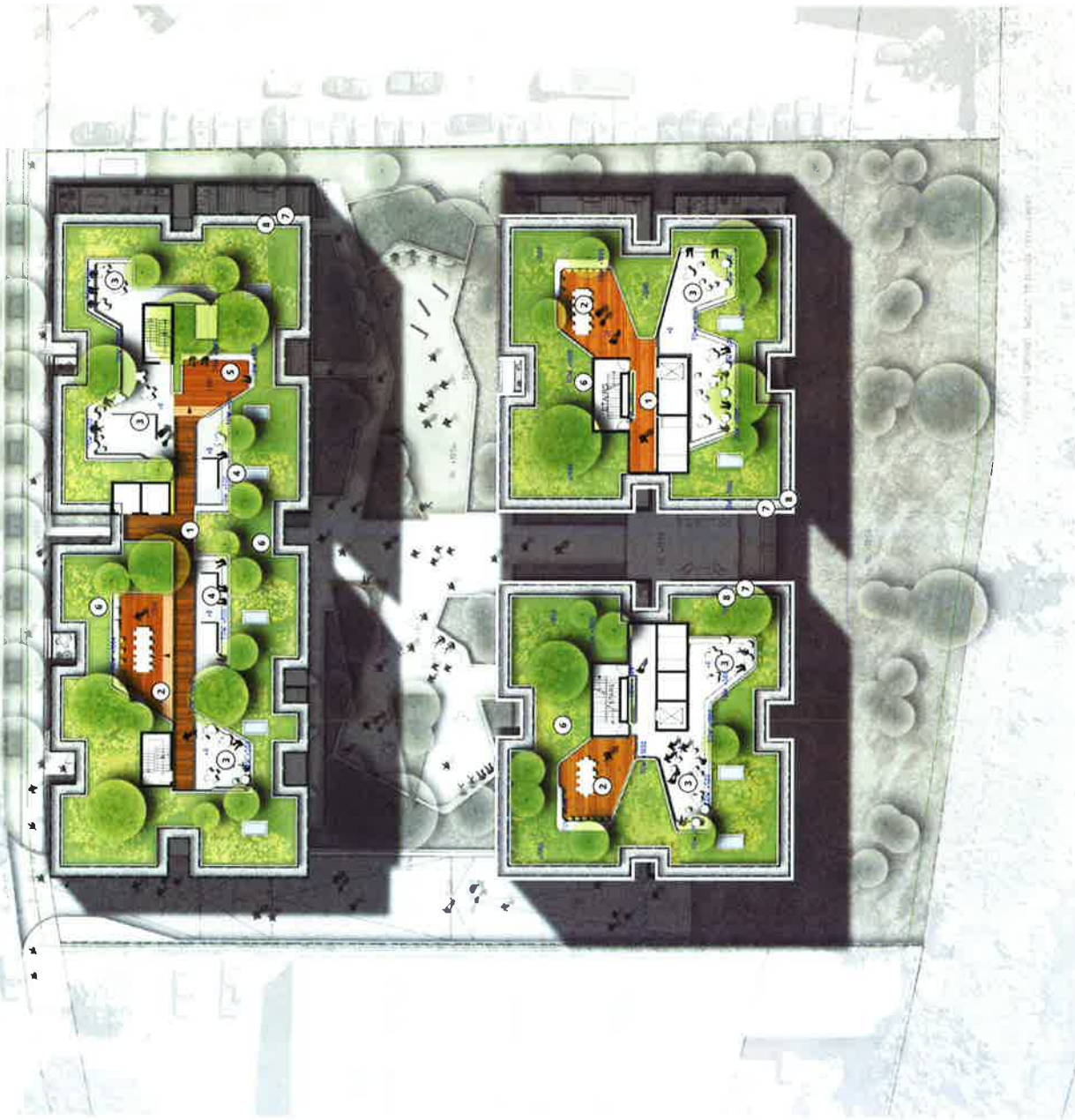
1. 100mm high raised gardens with brick and corten steel edge. Mass planting for screening to apartment. Refer Planting Strategy (LA_6)
2. New insitu concrete pedestrian footpath, 2m wide
3. New street tree planting, Loblocheum conerius in mass planting within 15m wide turf verge



Key

4. Shared laneway
5. Angled corten steel planters with edges. Decorative tree and understory planting. Refer Planting Strategy (LA_6)
6. Mass planted gardens with screen planting to private terraces. A 600mm typical setback in the slab in addition to 400-500mm raised planters provides sufficient depth for tree planting (1000-1100mm depth generally)
7. Open turf area with seating edge

Section BB - 1:100
Private Communal Courtyard, Public Laneway, Boundary Treatment



Key

L4 ROOF TERRACE

1. Timber deck pathway between lift and stair access
2. Timber deck dining terrace with BBQ, communal table and bar seating to edge
3. Garden courtyards with insitu concrete planter wall/ seating edges. Off-form concrete planter walls; vary in height 500-1000mm. 1000mm height provided to achieve free planting
4. Garden rooms for games/ play, table tennis, handball, chess etc
5. Raised timber deck for yoga/ seating/ small group gatherings
6. Mass planted ornamental garden perimeter with small tree planting. Refer Planting Strategy LA_7
7. 1000mm wide gravel perimeter maintenance path
8. 15m Balustrade





Section EE - 1:100
Building C1 Roof Terrace



Section DD - 1:100
Building C2 Roof Terrace

Key

1. Timber deck dining terrace with BBQ, communal table and bar seating to edge
2. Garden courtyards with wattle concrete planter wall/ seating edges. Off-form concrete planter walls; vary in height 500-1000mm. 1000mm height provided to achieve tree planting
3. Garden rooms for games/ play; table tennis, handball, chess etc
4. Raised timber decks for yoga/ seating/ small group gatherings
5. Mass planted ornamental garden perimeter with small tree planting. Refer Planting Strategy LA_2
6. 1000mm wide gravel perimeter maintenance path
7. 15m Balustrade



Residential Gardens

Design intent: Mass planting to create privacy for private terraces

Plant Name	Common Name	Estimated Per Site	Native/ Exotic/ Endemic
Tree			
Platanus occidentalis	London Plane	2000	Exotic
Quercus robur	English Oak	4000	Native
Low Shrubs, Groundcovers, and Climbers			
Argemone	Yellow Argemone	40000	Native
Geranium	Geranium	20000	Native
Hydrangea	Hydrangea	20000	Native
Salix	Willow	20000	Native
Sparganium	Sparganium	20000	Native
Veronica	Veronica	20000	Native
Wisteria	Wisteria	20000	Native

Private Communal Open Space

Design intent: Small scaled ornamental tree planting and low screen planting selected for seasonal and colour variation.

Plant Name	Common Name	Estimated Per Site	Native/ Exotic/ Endemic
Tree			
Argemone	Yellow Argemone	4000	Native
Geranium	Geranium	4000	Native
Hydrangea	Hydrangea	4000	Native
Salix	Willow	4000	Native
Sparganium	Sparganium	4000	Native
Veronica	Veronica	4000	Native
Wisteria	Wisteria	4000	Native
Low Shrubs, Groundcovers, and Climbers			
Argemone	Yellow Argemone	40000	Native
Geranium	Geranium	20000	Native
Hydrangea	Hydrangea	20000	Native
Salix	Willow	20000	Native
Sparganium	Sparganium	20000	Native
Veronica	Veronica	20000	Native
Wisteria	Wisteria	20000	Native

Streetscape + Laneway

Design intent: Significant scaled avenue tree planting with mass planted tree plus

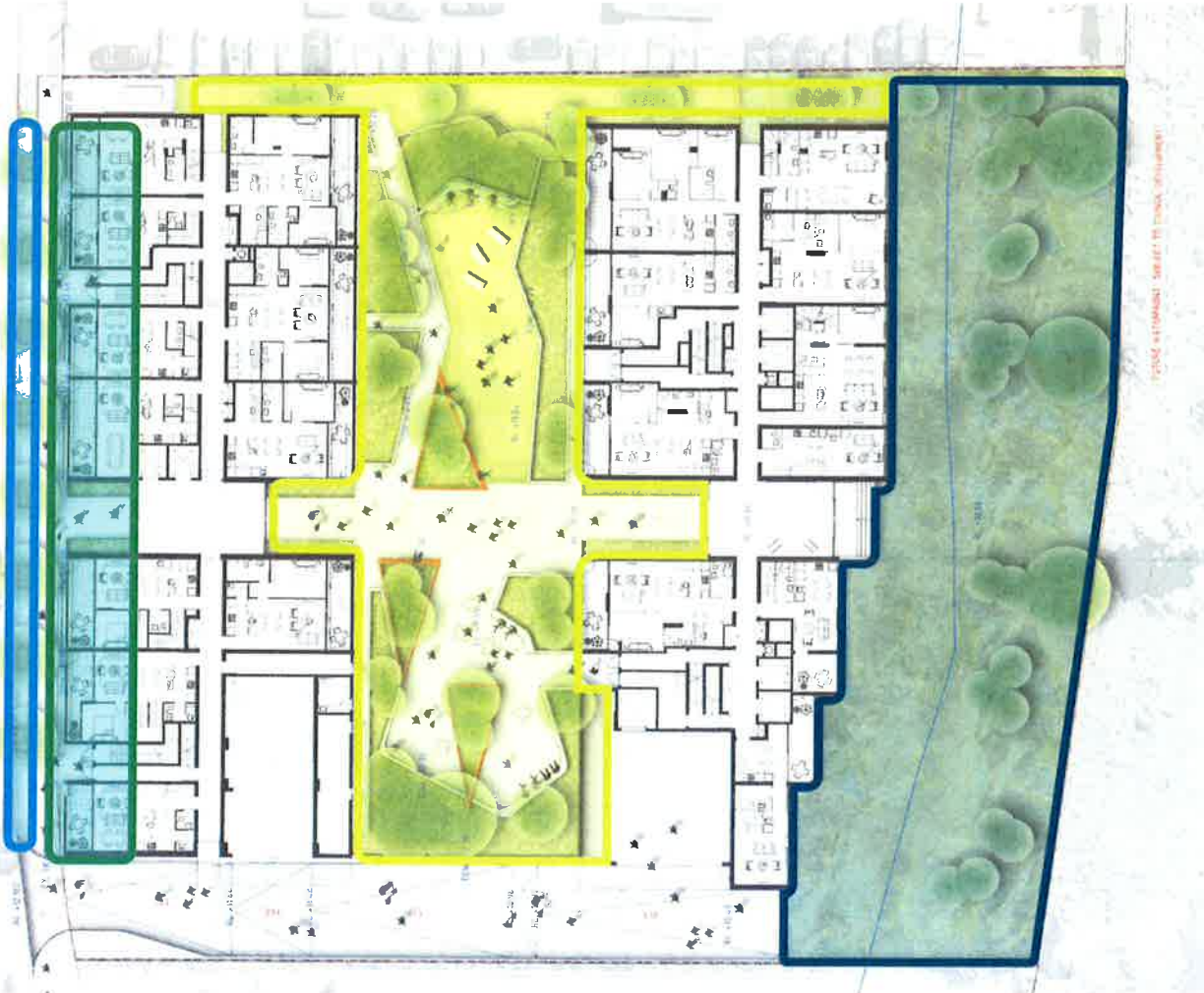
Plant Name	Common Name	Estimated Per Site	Native/ Exotic/ Endemic
Tree			
Argemone	Yellow Argemone	4000	Native
Geranium	Geranium	4000	Native
Hydrangea	Hydrangea	4000	Native
Salix	Willow	4000	Native
Sparganium	Sparganium	4000	Native
Veronica	Veronica	4000	Native
Wisteria	Wisteria	4000	Native
Low Shrubs, Groundcovers, and Climbers			
Argemone	Yellow Argemone	40000	Native
Geranium	Geranium	20000	Native
Hydrangea	Hydrangea	20000	Native
Salix	Willow	20000	Native
Sparganium	Sparganium	20000	Native
Veronica	Veronica	20000	Native
Wisteria	Wisteria	20000	Native

Riparian Zone

Design intent: Encourage endemic species along the waterfront in order to rehabilitate the Cumberland Forest along Georges River

Plant Name	Common Name	Estimated Per Site	Native/ Exotic/ Endemic
Tree			
Argemone	Yellow Argemone	4000	Native
Geranium	Geranium	4000	Native
Hydrangea	Hydrangea	4000	Native
Salix	Willow	4000	Native
Sparganium	Sparganium	4000	Native
Veronica	Veronica	4000	Native
Wisteria	Wisteria	4000	Native
Low Shrubs, Groundcovers, and Climbers			
Argemone	Yellow Argemone	40000	Native
Geranium	Geranium	20000	Native
Hydrangea	Hydrangea	20000	Native
Salix	Willow	20000	Native
Sparganium	Sparganium	20000	Native
Veronica	Veronica	20000	Native
Wisteria	Wisteria	20000	Native

Planting Palette

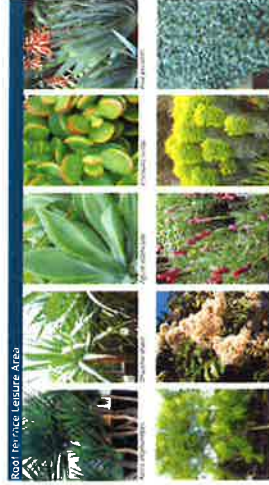


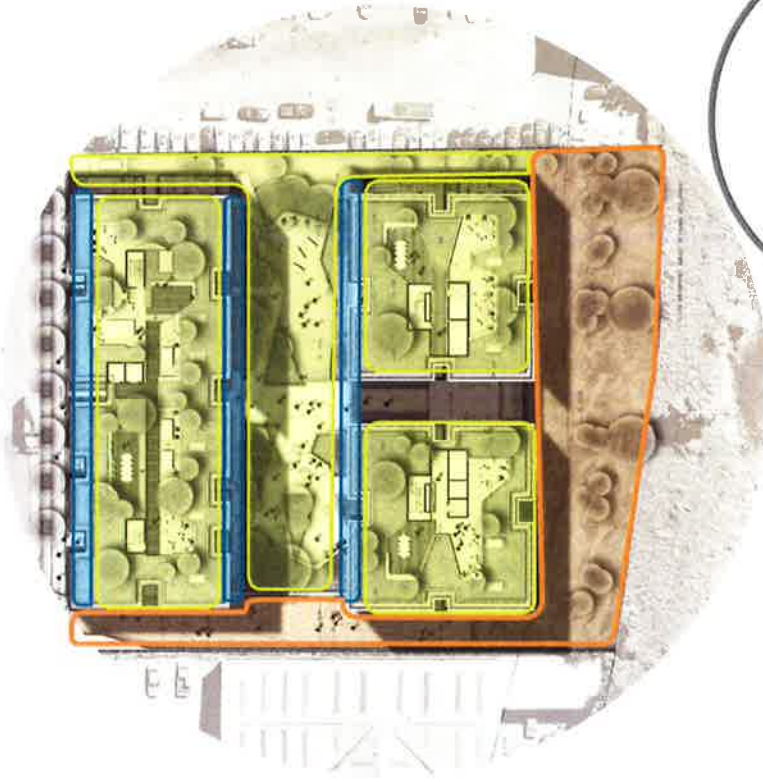
Roof Terrace Leisure Area

Roof Terrace Leisure Area
Design intent: Around the perimeter of the planting bed there will be a variety of succulents used to create year-long interest as well as a variety of colours and shapes forms controlled by the movement of taller planting behind.

[illegible]

Roof terrace Kitchen garden



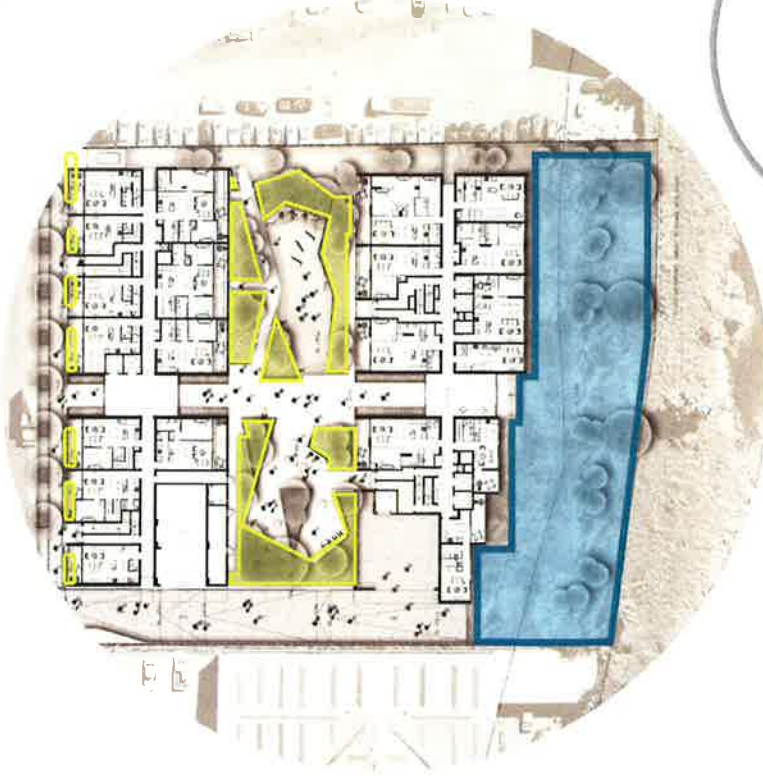


66%
 Ground Floor Communal: 14,318 sqm
 + Roof Top Communal: 2,434 sqm

4%
 Private open space: 237 sqm

33.3%
 Public open space: 1950 sqm
 (includes percentages to total site area)

**66 % OF TOTAL SITE
 AREA IS PRIVATE
 COMMUNAL OPEN SPACE
 (incl roof)**



23.4%
 Deep soil on grade: 13,795 sqm
 (these percentages to total site area)

8%
 GF ≥ 1m depth soil over slab: 473 sqm

**23.4% OF TOTAL SITE
 DEEP SOIL ON GRADE**